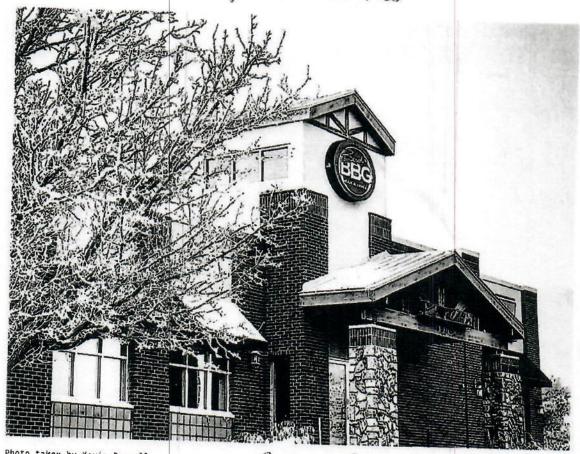
## **BBG RENTED EQUIPMENT:**

- Coke equipment
- Ice bins behind bars
- Dishwasher behind bar
- ELKO (Provides cleaning chemicals)
- CO2 tanks provided by Mississippi Welding
- Aramark mats, linens & hand towels

Sign + deck West



On traver

Photo taken by Kevin Ramsell

East front don

Located in beautiful Stoughton WI, BBG's sits just off Hwy 51 on the north side of the city. Our style is open, relaxed, friendly and inclusive.

Folks travel from far and wide just to try out our char-grilled Angus beef burgers and "The Best Pizza in Town!" Our thin crust & sauce are made from scratch, and only the freshest ingredients go on our pizzas!

A full line up of fountain drinks, over 16 beers on tap, a vast selection of imports and domestics, and almost any cocktail you can imagine. We have something to quench anyone's thirst!

WISCONSIN REALTORS® ASSOCIATION 4801 Forest Run Road

	adison, Wisconsin 53704	SELLED DISCLOQUES COM			
		SELLER DISCLOSURE REPORT - COMMERCIAL			Page 1 of
T	HIS DISCLOSURE REPORT CONC	ERNS THE REAL PROPERTY LOCATED AT SOO NICOUR	(O)	.1	
-	1 1 1 .		7+1	reet	
-	CIAN (	(CITY) (VILLAGE) (TOWN) OF Stoughton			_ IN THE
PF	ROPERTY AS OF AUGUST	STATE OF WISCONSIN. THIS REPORTUS A DISCLOSURE OF	THE CON	, CO	UNTY OF
		(YEAR)			
41-	When listing a property Wis. Adm				
the full	fill this license law duty.	in. Code § REEB 24.07(1)(b) requires licensees to inspect the properture, mechanical systems and other relevant aspects of the property. se to the licensee's inquiry." This Seller Disclosure Report is a tool des	signed to i	help the	request licensee
	This is not a warranty of any line	by the owner or any agents representing any party in this transaction nat the parties may wish to obtain. This is not a disclosure report requision.			
	NO	TICE TO PARTIES REGARDING ADVICE OR INSPECTIONS			
rep insp def	ort or concerning the least it is	vide advice or opinions concerning whether or not an item is a deferobligations of parties to a transaction. The parties may wish to obtain the appropriate provisions in a contract between them with respect to	ct for the in profess any advi	purpose sional ac ce, inspe	s of this dvice or ections,
		A. OWNER'S INFORMATION			
A1.	In this form, "aware" means the "ow				
A2	In this form "defeat"	isits) have notice or knowledge.			
	y and to adversely affect to	ndition that would have a significant adverse effect on the value of of future occupants of the property; or that if not repaired, remove expected normal life of the premises.	vea, or r	eplaced	t would would
A3.	In this form, "owner" means the pers	on or persons, entity, or organization that owns the above			
chec shall ques	ked as "yes," "no," or "not applicable provide an explanation of the reastions.	est of the owner's knowledge, the responses to the following question is "to the property being sold. If the owner responds to any question why the response to the question is "yes" in the area provided	ons have i ion with "y following	een aco	owner oup of
A5. rely agen	The owner discloses the following in	formation with the knowledge that, even though this is not a warranty, there and on what terms to purchase the property. The owner hereby			
		B. STRUCTURAL AND MECHANICAL			
31.	Are you aware of defects in the ro	of?	YES	NO	N/A
2. 3.	Are you aware of defects in the el	actrical system including the			The second second
3. 4.	Are you aware of defects in part of	f the plumbing system?	H		
3000	humidifiers), fire safety, security of	leating and air conditioning system (including the air filters and	H	H	
5.	Are you aware of defects in the ha	soment or four daily	_		
6. <del>-</del>	walls)?	of structural components on the property (including			
7. 8.	Are you aware of defects in mer personal property?	chanical equipment included in the sale either as fixtures or			
J.	Are you aware of rented items loo with the property? xplanation of "yes" responses	cated on the property or items affixed to or closely associated			
			100000000000000000000000000000000000000	The second second	-

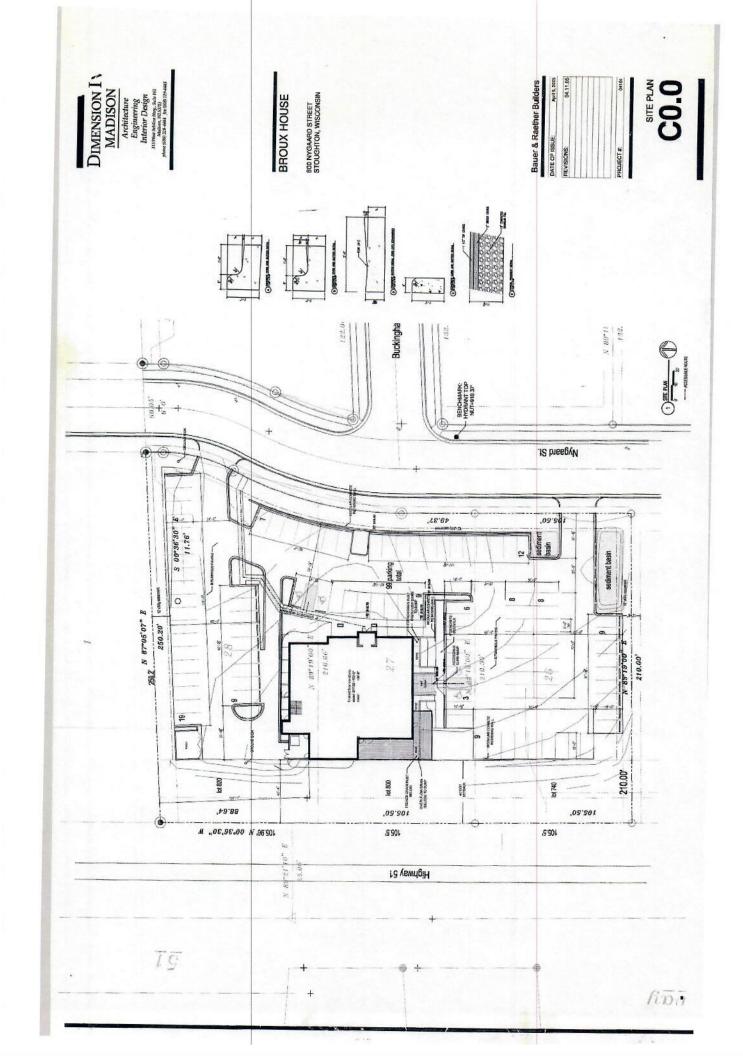
90		C. ENVIRONMENTAL			Page 2 of 4
	pesticides or other potentially have	unsafe levels of mold?  d by unsafe concentrations of, or unsafe conditions relating to, high voltage electric (100 KV or greater) or steel natural gas it not directly serving the property, lead in paint lead in soil	YES	NC 	N/A
C	Are you aware of the presence conditions relating to, or the storago.  Are you aware of current or provides.	of or a defect caused by unsafe concentrations of, unsafe ge of hazardous or toxic substances on neighboring properties?			
C	<ol> <li>Are you aware of water quality is relating to lead?</li> </ol>	or insect infestations, including infestations impacting trees?  sues caused by unsafe concentrations of or unsafe conditions			
C	matters) ever being conducted	of methamphetamine or other hazardous or toxic substances investigation or private assessment/audit (of environmental			
	Explanation of "yes" responses				
D1.	Are you aware of wall	D. STORAGE TANKS	VEO		
D2.	rieating oil?	boveground fuel storage tanks on or previously located on the combustible liquids, including but not limited to gasoline and	YES	NO	N/A
D3.	located on the property? Explanation of "yes" responses	derground or aboveground fuel storage tanks on or previously			
E1. E2. E3. E4. E5. E6.	Have you received notice of proper you aware of a pending property rea Are you aware that remodeling was Are you aware of pending special as Are you aware that the property is district, that has the authority to imp district?  Are you aware of any proposed co property?  Are you aware of any remodeling, re	done that may increase the property's assessed value? sessments? ocated within a special purpose district, such as a drainage ose assessments against the real property located within the instruction of a public project that may affect the use of the eplacements, or repairs affecting the property's structure or or additions to this property that were made during your red permits? volving the property for which a required state or local permit	YES	>0	NA
	explanation of "yes" responses	F. LAND USE			
F1. F2.	problems affecting the property?  Are you aware of ponconforming uses	lations with respect to the property? portion of the property being located in a floodplain, wetland, oding, drainage problems, standing water or other water	YES	NO  -	N/A
F4. F5. F6.	Are you aware of restrictive covenants	or deed restrictions on the property?			

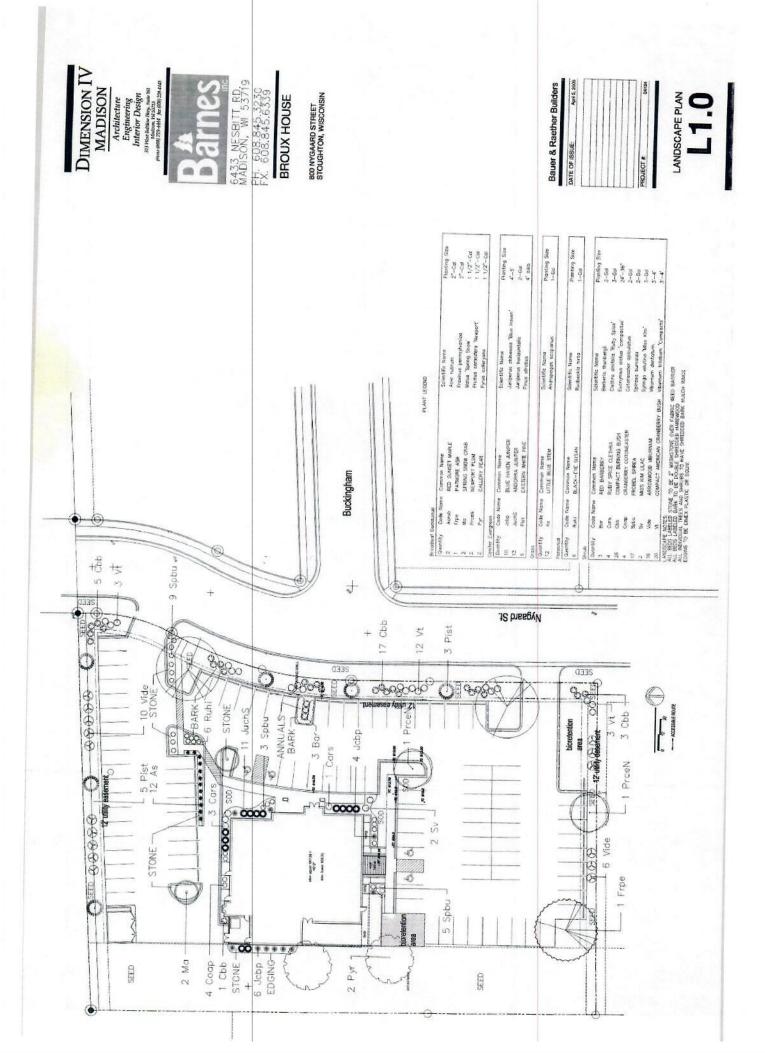
Cro. Explanation of	"yes" responses		Page
Note: A			
elevator inspector.	tract provision requiring in	spection of a residential dumbwaiter o	r elevator must be performed by a state-licens
			must be performed by a state-licen
The every		OWNER'S CERTIFICATION	
the owner signs this r	nat the information in this r	report is true and correct to the best of t	he owner's knowledge as of the date on which
	O		which
Entity Name (if any):	Banushis LL	C dba BBG	
Name & little of Author	prized Representative Ci-	ing for Entity:	
Authorized Signature	for Entity:	A LITTLE BUT THE	Date 18-24-24 )V
Owner			== 00 %
Owner		DocuSigned by:	Date 08 - 20 - 20 34
Owner		B89A5026FE3F452	Date 08-20-2024
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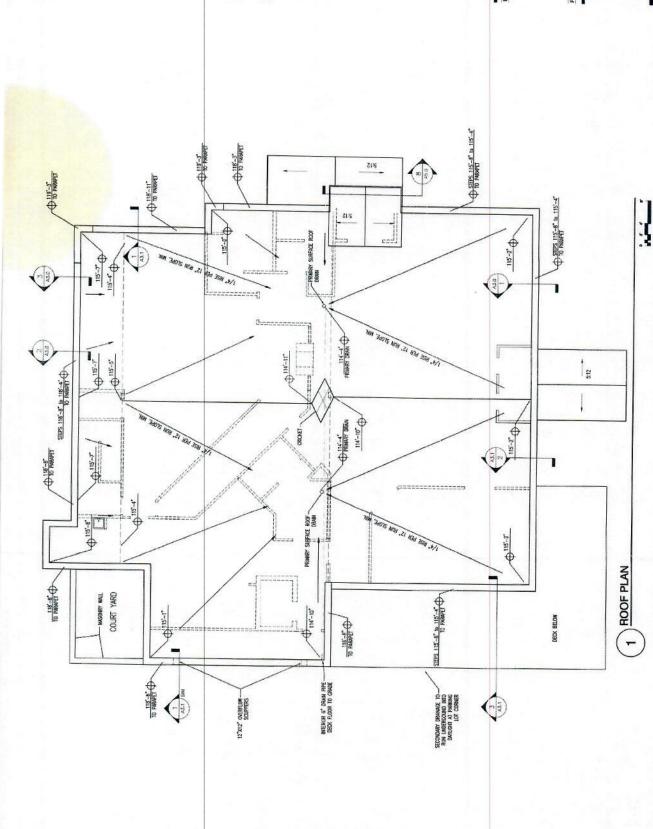
No representation is made as to the legal validity of any provision or the adequacy of any provision in any specific transaction.

This report form does not satisfy Wis. Stat. chapter 709 which generally applies to transfers of real estate containing 1-4 dwelling units or vacant land.





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## BROUX HOUSE

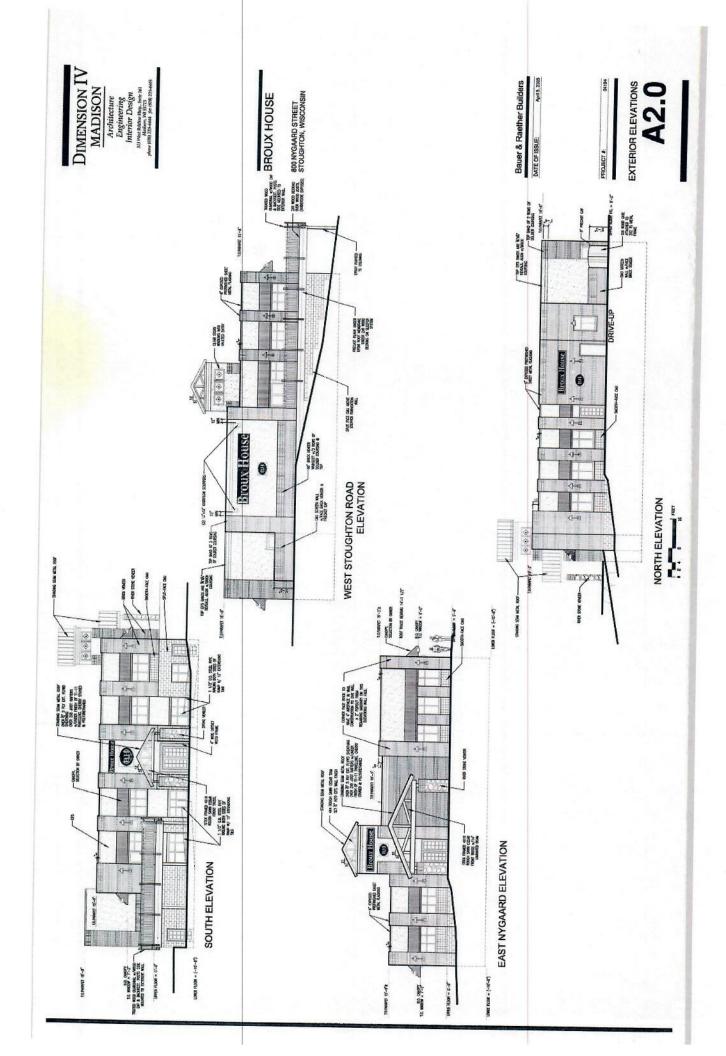
800 NYGAARD STREET STOUGHTON, WISCONSIN

Bauer & Raether Builders

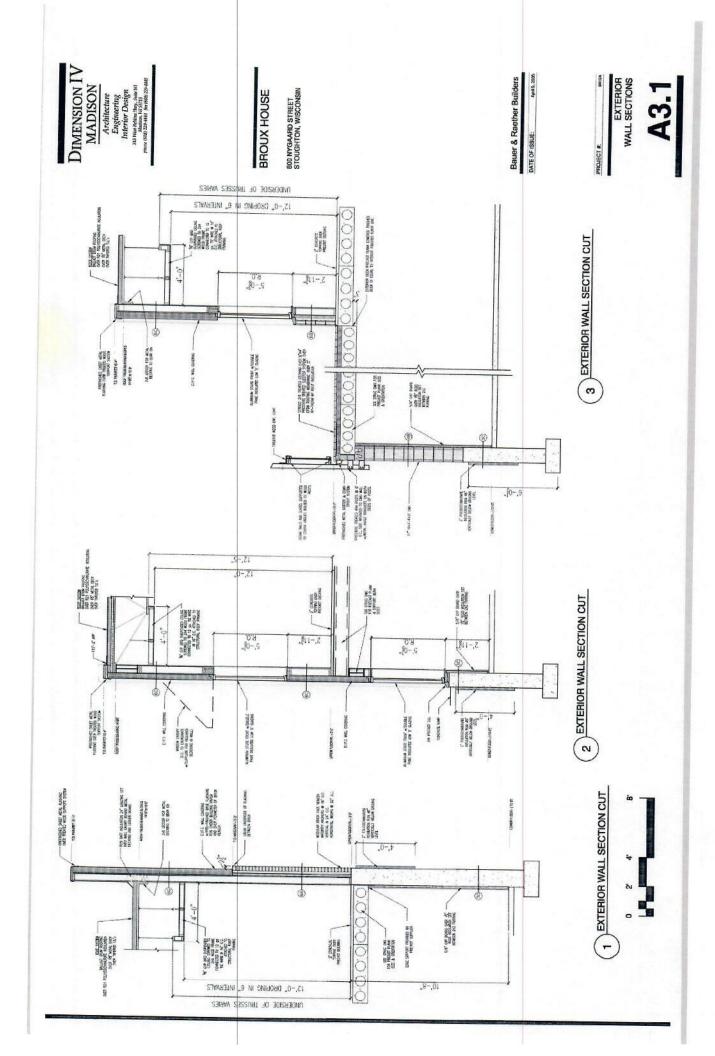
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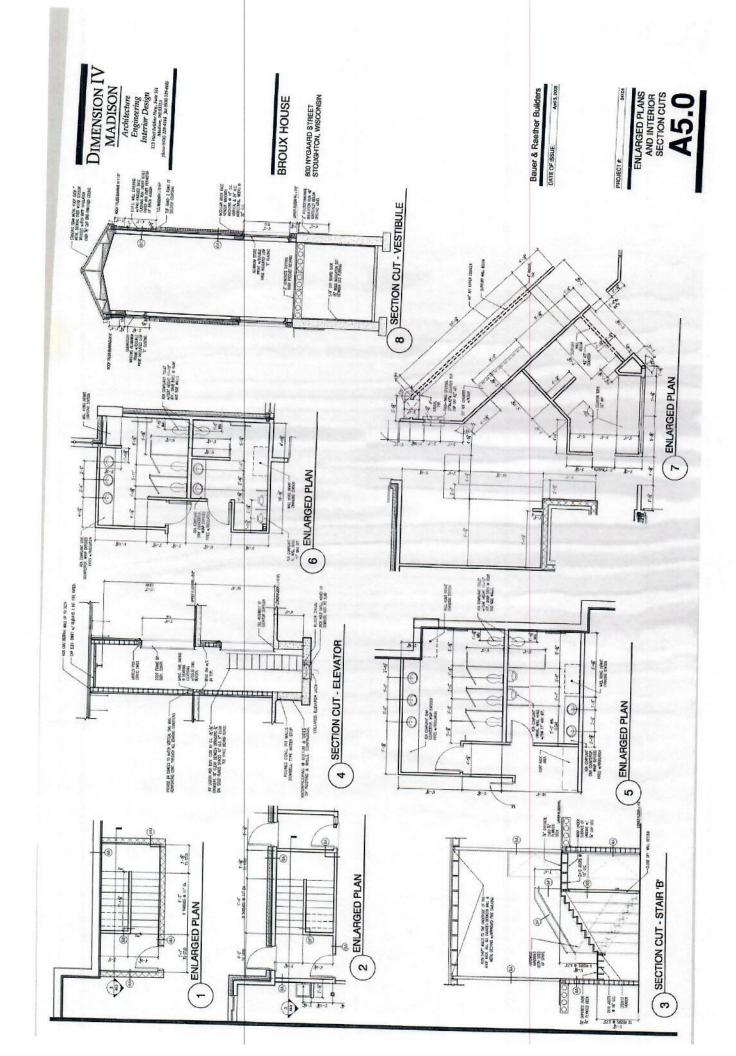
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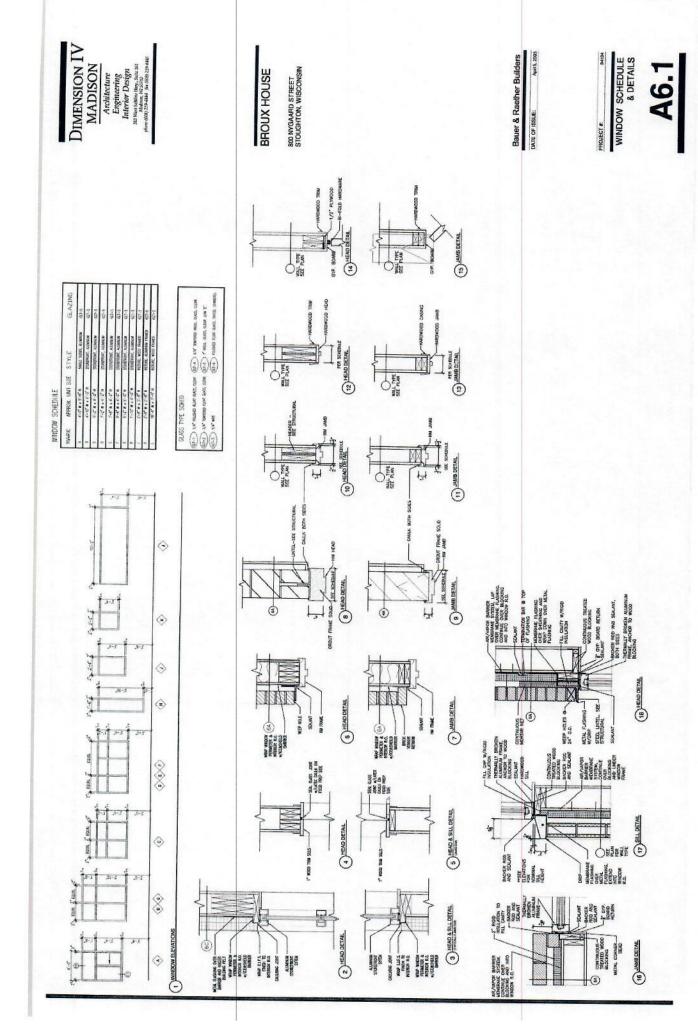
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M Bauer & Raether Builders WALL, WINDOW & DOOR SCHEDULES **A6.0** BROUX HOUSE 800 NYGAARD STREET STOUGHTON, WISCONSIN 16 O.C.
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STRUCTURAL NOTES DESIGN CODE ESCINEN ASHERINATE COSE - SE 2008 DESIGN LIVE LOADS
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FROME 1/2" DEMANDIN JOHT METRIK, AT STREED LOCKTON, WEIGH SLASS ASK WALS, COLUMNS AND OTHER APPRICAL SCRIENZES UNITSE WITED SPERMIZE. DESTRUCTION OF STREET POINTS POINTS ASSESSMENT STREET STREET 24 FRANCE IND (2) LANDES OF 6 ML, PAUL OR IS FILLT DOND SPEAK MATTER SAME-ON-DAME AGIT SOTTING FOUNDAMEN MALLS.

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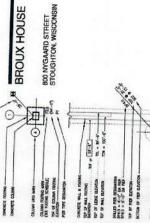
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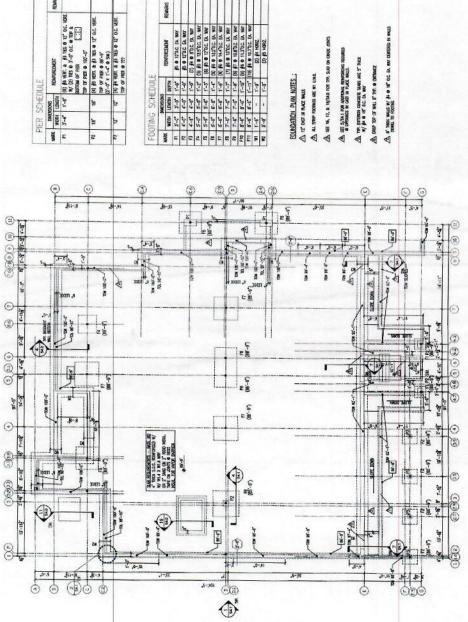
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(1) FOUNDATION PLAN MONTH



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BROUX HOUSE

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Bauer & Raether Builders

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BROUX HOUSE

800 NYGAAHD STREET STOUGHTON, WISCONSIN

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ROOF FRAMING PLAN NOTES.

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Bauer & Raether Builders
DATE OF ISSUE: April 5 2005

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STREET STRUCTURAL DETAILS Bauer & Raether Builders **BROUX HOUSE** 800 NYGAARD STREET STOUGHTON, WISCONSIN DATE OF ISSUE: 16 S.O.G. CONSTRUCTION JOINT 1 TYP. FRAMING SECTION @ ROOF OPENINGS ATT - S' e fingangs 11 EQUIPMENT PAD DETAIL P CLE TP ALL MOMO 6 FOUNDATION WALL @ S.O.G # 0 12' 00 St nor HAND OF SHIPS WITH STREET OF SHIPS WITH STREET OF SHIPS WITH SHIPS JOH HEED ADOL PER IN PARTY MILLY DE THE FEMANTIN PLANTS EAST BESTACES.

OF AN OWLL & PARTE MINE STRP DE TANK CONTRICTOR. 17) S.O.G. CONTROL JOINT VALUE DI PLACE 12 FOUNDATION WALL @ S.O.G. 2 TYP. FRAMING PLAN @ HOOF OPENINGS 7 TYP. DECK BEARING DETAIL THE PAR PLANTED 18 TYPICAL COLUMN ISOLATION JOINTS P. SEE 13 INTERIOR MASONRY WALL FOOTING 8 COLUMN SADDLE COUNTY IN THE STATE OF THE STAT 3 TYP, JOIST BEARING DETAIL 9 TYP. BRIDGING ANCHORAGE DETAIL ® MASONRY WALL 19 ELEVATOR PIT SECTION TE PAPE OU VAL STREAM DEACTED FILE 14 THICKENED SLAB @ CMUWALL 4 DECK BEARING DETAIL 10 BOND DEAM W/CS-HYS VERTICAL OF THE CHU WALLS, THE PAGE PLATE ON 1-PAGE PLATE B BASE PLATE B PLAN DECK-SEE CARLIED BOND FEAN W/(2)44 HOR TO 32" MR EACH SIDE OF BEAN STEEL SPAN-SIE 10 BEAM BEARING DETAIL 5 TYP. JOIST BEARING DETAIL AND GROUT INTO PAC PLANC. SEE PAC SUPPLER FOR EMBENDER DETAIL ORGUTTO NO P./C PLANT PLANT DESCH DT P/C PLANT DESCH DT P/C P. INSE PLATE DI 1.

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