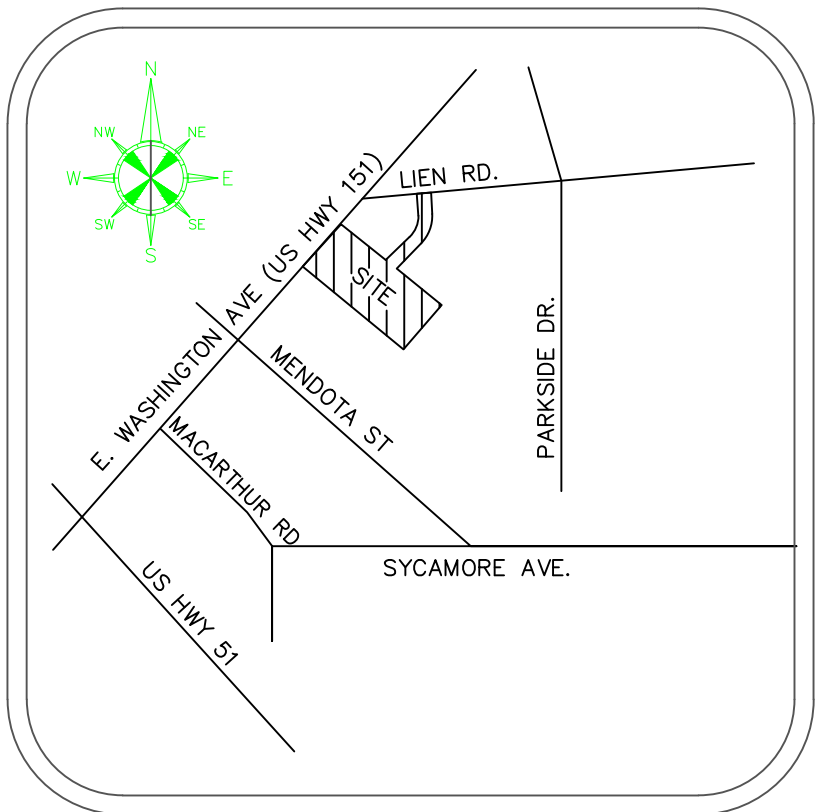


MISCELLANEOUS NOTES

- N1 The basis of bearings of this survey is based on the most Northwesterly lines of Lots 1, 2 and 3, Certified Survey Map Number 8901, City of Madison, Dane County, Wisconsin, recorded May 5, 1998 in Volume 48 of Certified Survey Maps, Page 259, as Document Number 2965461, having a recorded bearing of North 47° 19' 53" West.
- N2 The table below described the type and number of visible striped parking stalls entirely within the property boundary. Stalls that are partially within boundary are listed under the heading "partial". Partial stalls are not counted in total
- | VISIBLE STRIPED PARKING | | | | | |
|-------------------------|----------|---------|--------------------|---------------------|-------|
| REGULAR | HANDICAP | TRAILER | PARTIAL
REGULAR | PARTIAL
HANDICAP | TOTAL |
| 340 | 11 | 0 | 0 | 0 | 351 |
- N3 The subject property contains 325,753 square feet or 7.4783 acres.
- N4 During our field site visit, there was not observable evidence of earth moving work, building construction or building additions within recent months.
- N5 During our field site visit, there was not observable evidence of site use as a solid waste dump, sump, or sanitary landfill.
- N6 All measured and recorded bearings and dimensions are the same unless noted otherwise.
- N7 Visible evidence of direct physical access to a dedicated public right of way is observed by the drive entrance to and from Lien Road, as shown hereon.
- N8 There were no changes in street right of way lines either completed or proposed available from the controlling jurisdiction. There was no evidence of recent street or sidewalk construction or repairs.
- N9 This survey was made in accordance with the laws and/or Minimum Standards of the State of Wisconsin.
- N10 There is no visible evidence of cemeteries, individual gravesites or burial grounds on the subject property.
- N11 The building area shown hereon is for the exterior building dimensions at ground level.
- N12 This survey does not constitute a title search by the surveyor to determine ownership or easements of record, rights of way, or title or record. The surveyor has relied upon First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.
- N13 This ALTA/NSPS Land Title Survey, and the information hereon, may not be used for any additional or extended purposes beyond that for which it was intended and may not be used by any parties other than those to which it is certified.
- N14 The property forms a mathematically closed figure without gaps or gores.
- N15 All statements within the certification, and other references located elsewhere hereon, related to: utilities, improvements, structures, buildings, parking, easements, servitudes, and significant observations are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- N16 On the date of this survey, portions of the subject property were covered with up to five inches of snow and ice and plowed snow piles up to four feet in height were observed. Only the above ground improvements visible on the date of this survey are noted hereon.



VICINITY MAP

NOT TO SCALE

SURVEY RELATED ITEMS
CORRESPONDING TO SCHEDULE
B TITLE COMMITMENT

- 16 Public or private rights, if any, in such portion of the land as may be presently used, laid out, or dedicated in any manner whatsoever, for street, highway and/or alley purposes. This item is not plotted hereon as it does not affect the subject property.
- 17 A Slope Easement contained in Warranty Deed recorded April 20, 1953 as Document Number 852121. This item is plotted hereon and does affect the subject property.
- 18 Finding, Determination and Declaration by the State Highway Commission of Wisconsin Establishing a Certain Controlled Access Highway in Dane County, Wisconsin recorded February 24, 1956 as Document Number 913143. This item is plotted hereon and does affect the subject property.
- 19 A Sanitary Sewer and Water Main Easement recorded December 11, 1956 as Document Number 930464, Release of Easement recorded August 27, 1998 as Document Number 3012049, and Affidavit of Correction recorded February 18, 2008 as Document Number 4398443. This item is not plotted hereon as it does not affect the subject property.
- 20 Access Restriction set forth in Quit Claim Deed recorded October 3, 1957 as Document Number 946488. This item is plotted hereon and does affect the subject property.
- 21 A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998715. This item is plotted hereon and does affect the subject property.
- 22 A 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716. This item is plotted hereon and does affect the subject property.
- 23A Terms, Provisions and Conditions contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 1, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 23B Right of Way Easement contained in Agreement recorded March 23, 1967 as Document Number 1180759, Release of Restrictive Covenant recorded July 1, 1974 as Document Number 1402655, Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645 and First Amendment to Amended and Restated Easement Agreement recorded February 15, 2018 as Document Number 5390097. This item is plotted hereon and does affect the subject property.
- 23C A Sign Easement contained in Amended and Restated Easement Agreement recorded October 31, 2008 as Document Number 4478645. This item is plotted hereon and does affect the subject property.
- 24 A 40.00 foot wide Right of Way Easement contained in Warranty Deed recoded March 23, 1967 as Document Number 1180760. This item is plotted hereon and does affect the subject property.
- 25 An Easement for Sign and Underground Power recorded September 21, 1967 as Document Number 1196055. This item is plotted hereon and does affect the subject property.
- 26 Agreement Regarding Surface Water Drainage recorded April 8, 1968 as Document Number 1210484. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 27 Access Restriction set forth in Instrument recorded April 8, 1968 as Document Number 1210486. This item is plotted hereon and does affect the subject property.
- 28 Easement and Agreement recorded June 4, 1968 as Document Number 1215163 and re-recorded July 10, 1968 as Document Number 1218244. This item is plotted hereon and does affect the subject property.
- 29 A 10.00 foot wide Sanitary Sewer Easement recorded July 29, 1968 as Document Number 1219679. This item is plotted hereon and does affect the subject property.
- 30 A 7.00 foot wide Slope Easement contained in Warranty Deed recorded September 27, 1968 as Document Number 1224536. This item is plotted hereon and does affect the subject property.
- 31A A 30.00 foot wide Cross Easement Agreement recorded September 27, 1968 as Document Number 1224537. This item is plotted hereon and does affect the subject property.
- 31B Supplement to Cross Easement Agreement recorded June 19, 1995 as Document Number 2682865. This item is plotted hereon and does affect the subject property.
- 32A Terms, Provisions and Conditions noted on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is not plotted hereon as it is blanket in nature and does affect the entire subject property.
- 32B A 10.00 foot wide Public Utility Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- 32C A 15.00 foot wide Water Service Easement shown on Certified Survey Map Number 8901 recorded May 5, 1998 as Document Number 2965461 and Affidavit of Correction recorded August 13, 1998 as Document Number 3006342. This item is plotted hereon and does affect the subject property.
- 33 A 10.00 foot wide Ameritech General Easement recorded May 18, 1998 as Document Number 2970474. This item is plotted hereon and does affect the subject property.
- 34 Right of Way Grant Underground Electric recorded July 29, 1998 as Document Number 2999728. This item is plotted hereon and does affect the subject property.
- 35 Right of Way Grant Underground Electric recorded June 20, 2005 as Document Number 4068621. This item is plotted hereon and does affect the subject property.

STATEMENT OF ENCROACHMENTS

- E1 A light pole encroaches 0.4 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E2 The concrete curb encroaches from 1.9 to 2.1 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E3 The concrete curb encroaches from 1.5 to 1.8 feet Southeast of the Southeast property line onto the adjacent property to the Southeast.
- E4 The 2 story stucco building encroaches from 8.7 to 9.4 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- E5 The 2 story stucco building encroaches from 11.1 to 11.6 feet into the 20.00 foot wide Sanitary Sewer Easement recorded March 21, 1960 as Document Number 998716.
- E6 An overhead electric distribution line servicing light poles located on the subject property enters the subject property from adjacent privately owned lands to the North and East.
- E7 Indirect access to East Washington Avenue across the adjacent property to the Southwest, as constructed, requires travel across a portion of said adjacent property to the Southwest which does not appear to be subject to a beneficial ingress and egress easement, as per the subject title commitment.

TITLE LEGAL DESCRIPTION

Lots 1, 2 and 3 of Certified Survey Map No. 8901 recorded in Vol. 49 of Certified Survey Maps, on Pages 259–262, as Document No. 2965461, in the City of Madison, Dane County, Wisconsin.

This description describes all the land described in the title commitment identified as First American Title Insurance Company Commitment Number 2121927 bearing an effective date of January 20, 2022.

ALTA/NSPS LAND TITLE SURVEY

FOR

MADISON PLAZA HOTEL

PARTNER PROJECT NUMBER 22–353548.2

ALTA SURVEY BASED AND RELIED ON FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT, NUMBER 2121927, CONTAINING AN EFFECTIVE DATE OF JANUARY 20, 2022.

CERTIFICATION

To: Repvblik Madison LLC; REPVBLIK AR LLC; Knight Barry Title Services, LLC; First American Title Insurance Company, and Partner Engineering and Science, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 16 and 17 of Table A thereof. The field work was completed on February 15, 2022.

David R. Cheney
David Cheney
Wisconsin Registered Land Surveyor
Registration Number S–45
Date of Survey: 2–15–2022
Date of Last Revision: 2–25–2022

PROPERTY ADDRESS: 3841 EAST WASHINGTON AVENUE; MADISON, WI 53714

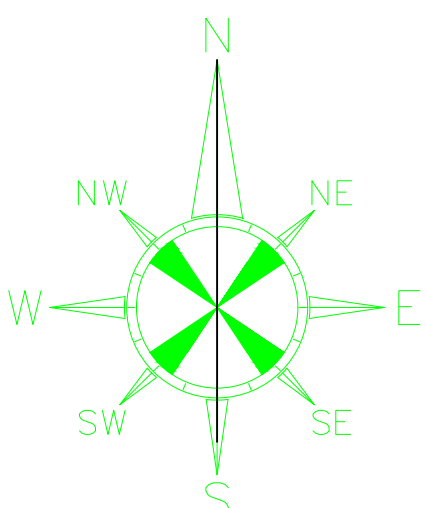
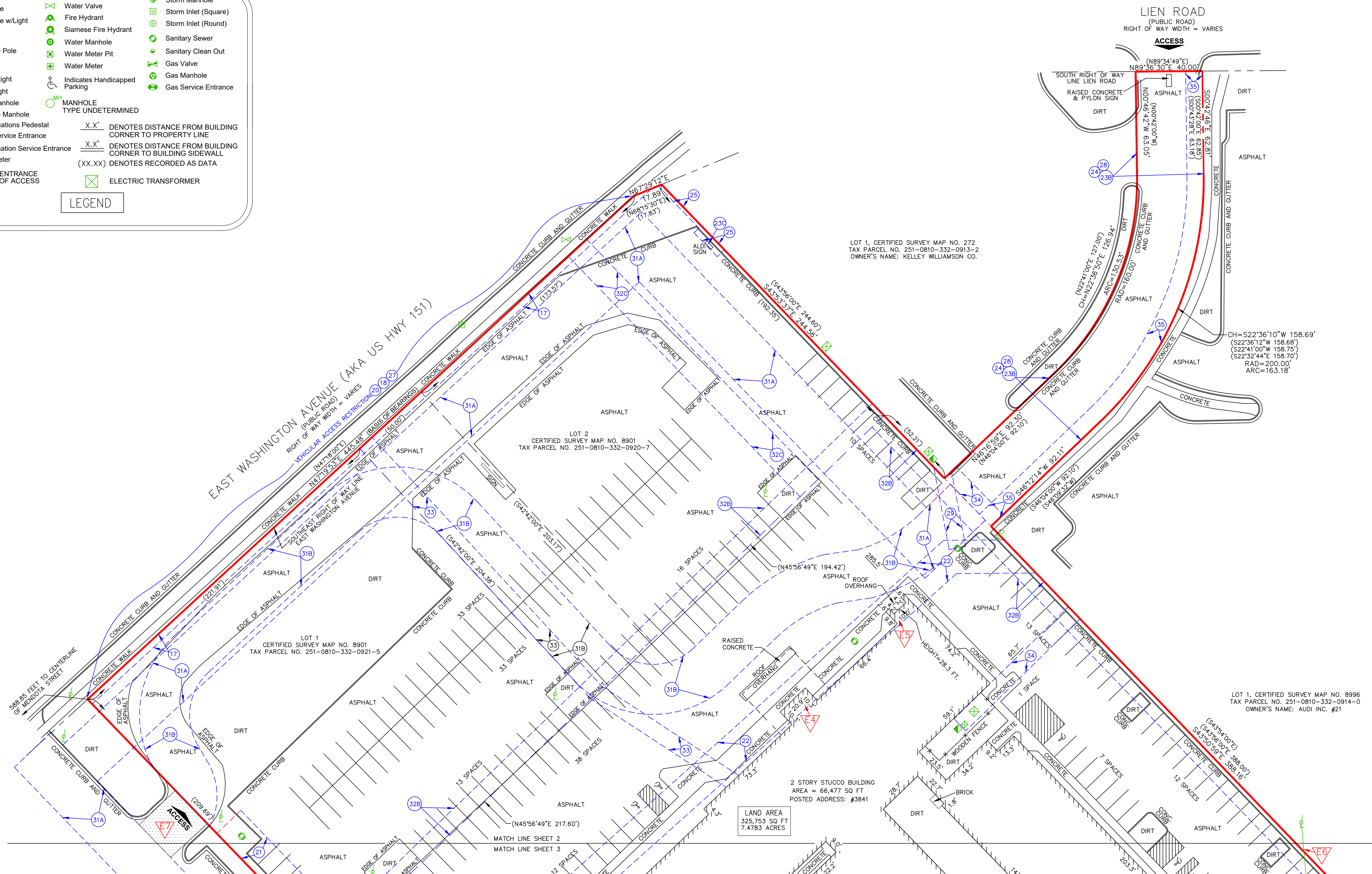
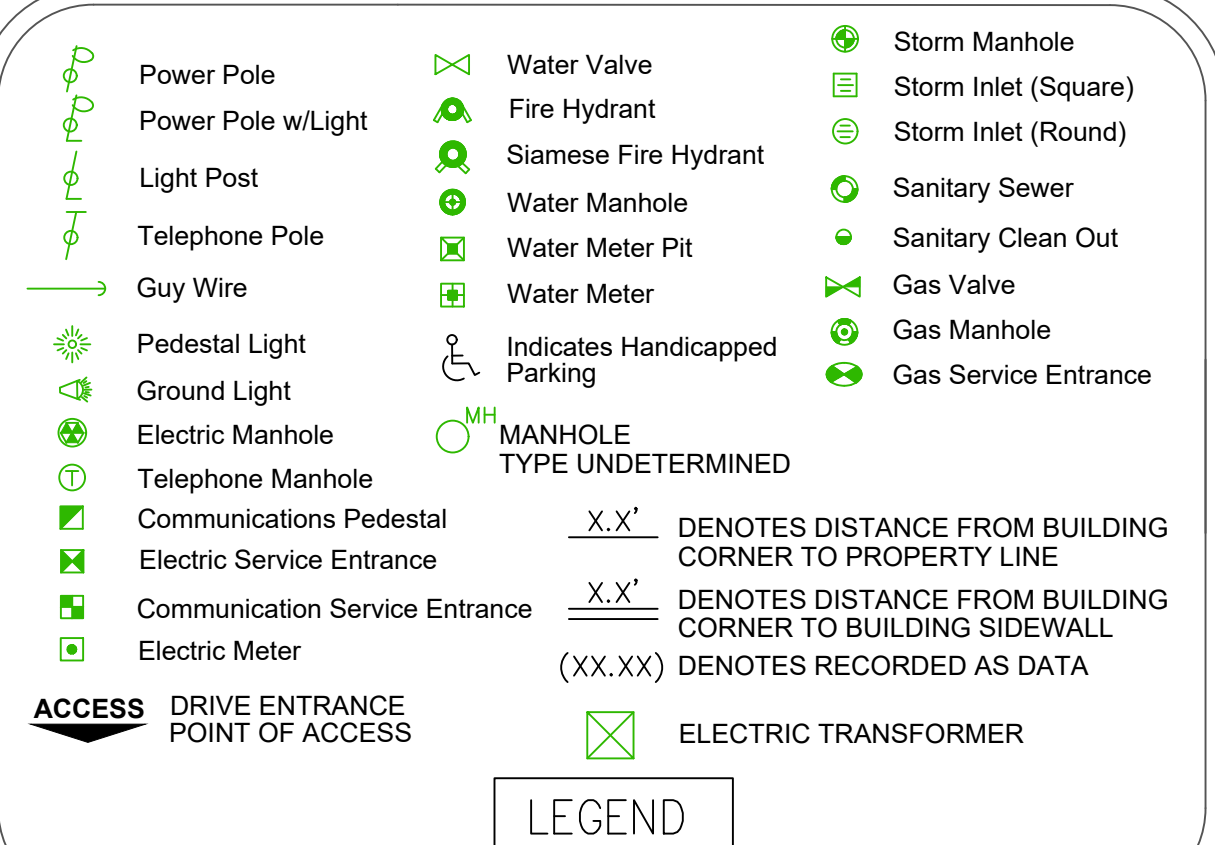
Survey Prepared By:
Sarko Surveying Inc.
847 County Road JG
Mount Horeb, WI 53572
Phone: 608–832–6428
Fax: 608–848–3859
Email: rsarko@tds.net



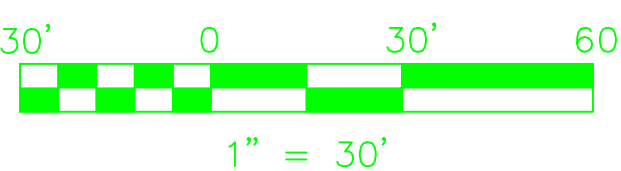
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